

Draft Merstham Regeneration Supplementary Planning Document (SPD).

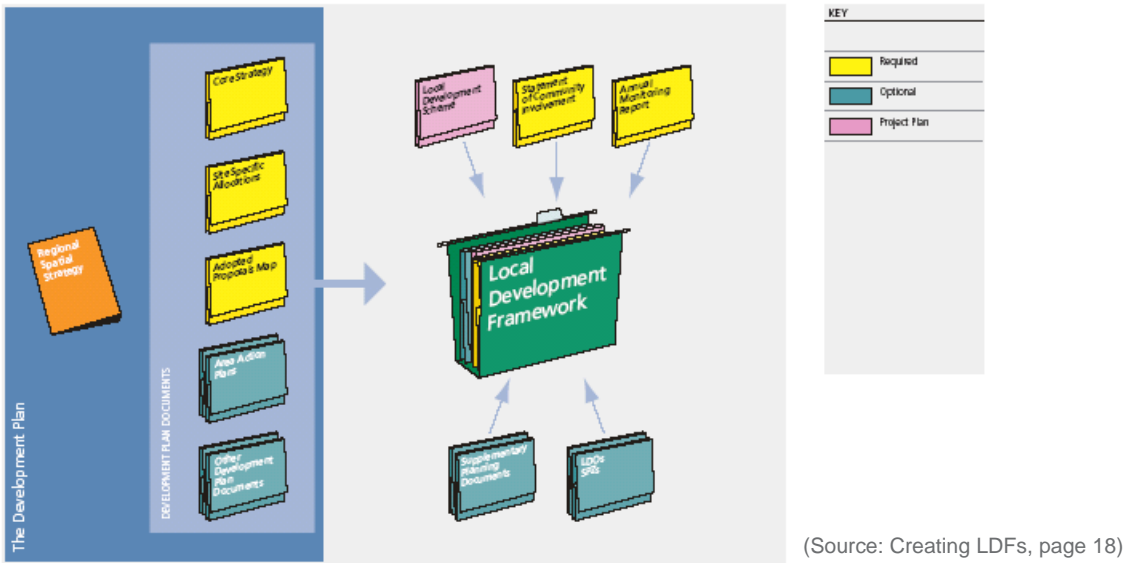
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What is the Local Development Framework?

The Local Development Framework, referred to as the LDF, is a folder of documents called Local Development Documents, as shown below.



What will the Reigate & Banstead LDF include?

The policies from the previous local plan system are saved for at least three years. The current project plan, including timescales, for the LDF is set out in the Local Development Scheme. The first LDS includes a Core Strategy, the Statement of Community Involvement, an Area Action Plan for Redhill Town Centre, and a number of supplementary planning documents. The LDS itself will be reviewed and the previous plan either replaced or continued as an ongoing process. Check the Council's website for the latest information www.reigate-banstead.gov.uk under Business and Planning > Planning > Planning policies > Local Development Framework > Local Development Scheme

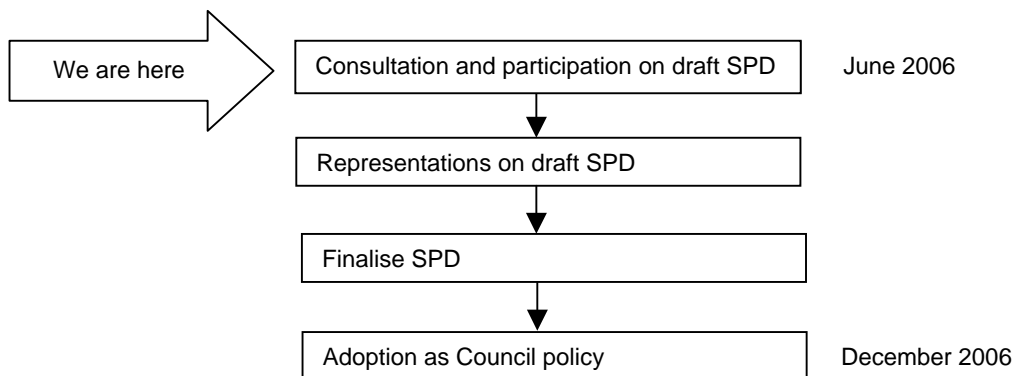
What are Supplementary Planning Documents (SPDs)?

They are used to expand policy or provide further details to policies in Development Plan documents or saved policies. While not having development plan status, they are subject to community involvement and Sustainability Appraisal.

What is the Merstham Regeneration SPD?

It contains guidance to facilitate regeneration in Merstham.

The diagram below shows the process for preparation of the Merstham Regeneration SPD and the potential timetable.



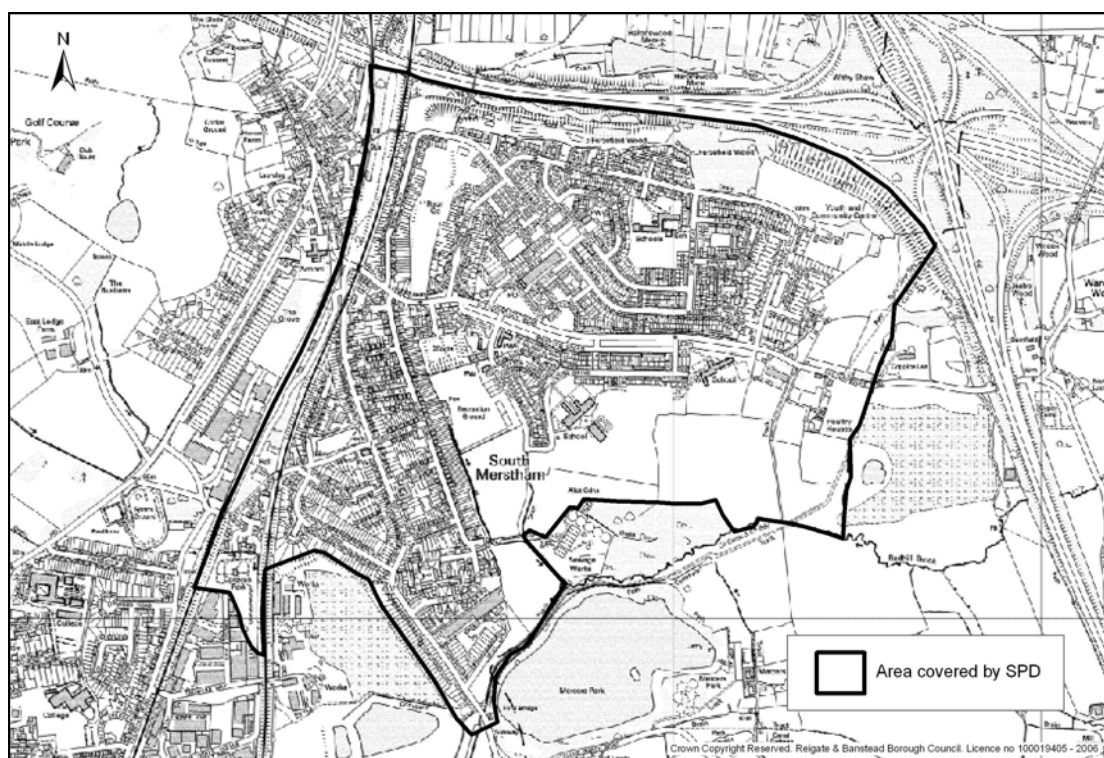
Contents

1. Introduction and Policy Context.....	4
Purpose of the SPD.....	4
Background	5
Policy Context	6
2. Overview of Merstham	9
Issues for the SPD	9
3. Objectives and Overarching Themes.....	10
4. Site Specific Proposals/Development Potential	14
5. Next steps –Phasing and Further Research	17
 Attachment I: Schedule and Map of Sites / Areas with Development Potential	 18

I. INTRODUCTION AND POLICY CONTEXT

Purpose of the SPD

- 1.1 This Supplementary Planning Document (SPD) provides guidance on the interpretation of saved Borough Local Plan 2005 policies for the area of Merstham shown on the plan below. Under the new system SPDs are not part of the statutory development plan. They are not subject to independent examination but have greater weight than the old-style Supplementary Planning Guidance (SPG), as they are subject to procedures of community involvement and sustainability appraisal. They can constitute a material consideration in respect of decision-making.
- 1.2 This SPD expands on policies in the Borough Local Plan 2005 regarding the provision of community facilities (Cf 1, Cf 2 and Cf 3), housing needs including affordable housing (Ho 1, Ho 2, Ho 3) and shopping (Sh 2). A wider range of other planning policies, relating to topics such as design and layout, infrastructure contributions etc. will also be relevant. This SPD does not alter any of these policies but gives more guidance as to how they might be implemented in Merstham. This document incorporates the findings of a significant amount of research into regeneration opportunities for Merstham, in order to better inform the future development of the area. Whilst at an early stage in preparation the emerging Core Strategy at Preferred Options stage also considers the Council's approach to regeneration. The policy context is explained in more detail below.
- 1.3 The plan below shows the area to which this SPD applies, which is referred to in the SPD generally as the Merstham area.



Background

- 1.4 The Council prioritised this SPD because the Merstham area is in need of regeneration. This SPD builds on the substantial amount of work already being undertaken in this area. The Borough Council's Corporate Plan 2006/09 identifies Merstham as a key area for regeneration. It highlights the need for the Council to work in partnership with key partners to improve the physical environment and tackle social problems. Under the themes of Regeneration and New Neighbourhoods and Self-reliant and Thriving Communities, the Corporate Plan sets out commitments to ensure that new housing is used to address inequalities in Merstham and facilitate new community and leisure facilities, including, as a priority, improving the physical environment of the existing housing to assist in tackling social problems.
- 1.5 A Planning for Real consultation exercise was conducted in 2000. This identified a lack of facilities for families within the Merstham area, and highlighted concerns about isolated families and family literacy, aggravated by the relative affluence of surrounding areas. Similar concerns about the lack of local community facilities were identified in a comprehensive options study focusing on the physical environment of the estate, produced by housing consultants First Call in 2002.
- 1.6 In 2003, the Reigate & Banstead Housing Trust (now Raven Housing Trust (RHT)) undertook an interactive study in consultation with residents to develop proposals for the regeneration of the flats and shops at the heart of the estate centred on Portland Drive. The proposals principally affected Raven Housing Trust's stock of shops and affordable housing. The proposals themselves were for a mix of affordable housing, the relocation of shops, community facilities and the development of housing for market sale which would provide some of the cross funding for proposals to proceed. The scheme as proposed was practically feasible although not financially viable, but represented a vision of what could be achieved were additional funding available. The Trust's revised proposals, which focus on improvement and refurbishment, are explained in more detail in section 4.
- 1.7 In early 2005, a project board including officers and members from the Council, Surrey County Council and the Raven Housing Trust was set up. On 7 April 2005 the Executive resolved to work in partnership with the Surrey County Council and the Raven Housing Trust, to look at regeneration options for Merstham. In June 2005, Urban Practitioners were appointed to undertake research. The Merstham Regeneration Project Board signed off a key output of Urban Practitioners' work, a Community Provision report for the Merstham area, in March 2006.
- 1.8 At the same time research was undertaken into the feasibility of sites in the Merstham area to be developed for either community provision or for residential purposes. This research has informed the evaluation of options for the future community provision. The above research, along with the policies in the Borough Local Plan 2005, have been used as the basis for drafting the (SPD).
- 1.9 The purpose of incorporating this work into a SPD is to formally capture the bigger picture, informed by the research, in a planning document, in order to better inform the future development of the area. The SPD will then be a material consideration in

the determination of any planning applications within the area, to guide the implementation of regeneration objectives and the need for partnership working.

Policy Context

- 1.10 As stated in paragraph 1.2, this SPD supplements a number of particular Local Plan policies and, in fitting with a wider policy context, a number of other relevant policies at the regional, county and local level. This is outlined below. Other policies and guidance, which have not been mentioned here, may also be relevant to development in the area.
- 1.11 The Borough Council must request the opinion in writing of the Regional Planning Body (SEERA), as to the general conformity of this SPD with the Regional Spatial Strategy (the emerging South East Plan). This request will be made when the draft SPD is published for public consultation. While a more strategic document, the submission draft South East Plan (March 2006) seeks to reduce economic and social disparities in the region, with a prime focus for development in urban areas to achieve urban renaissance. Policy BE1: Management for an Urban Renaissance requires significant improvements to the urban environment of suburbs, making them more attractive places to live, work, shop, spend leisure time and invest. It is believed that this SPD is in line with and complements Policy BE1.
- 1.12 Until the South East Plan is adopted, the Surrey Structure Plan 2004 retains its planning policy status. The Structure Plan includes the following policies which are most relevant to this SPD:
- Policy DN1 - Infrastructure Provision
Ensuring infrastructure requirements are identified and developers provide or contribute to the necessary improvements
 - Policy DN12 - Social and Community Facilities
Reference to provision of new facilities/replacement of existing.
 - Policy DN13 - Leisure and Recreation Facilities
Encourages new recreation or leisure development where it overcomes existing deficiencies
 - Policy LO2 - Managing Urban Areas
Seeks a managed approach to development within urban areas, to promote urban renaissance through a comprehensive approach. Recognises the importance of urban open land.
 - Policy LO 4 - The Countryside and Green Belt
Reference to the need to reassess existing safeguarded land.
 - Policy SE1 - Natural Resources and Pollution Control
Sets out standards for new development with regard to resource use.
 - Policy SE2 - Renewable Energy and Energy Conservation
States that commercial and residential development should be designed such that a minimum of 10% of the energy requirements are provided by renewable

resources, and that all types of development should incorporate energy efficiency best practice measures.

- Policy SE3 – Flooding and Drainage
Reference to sustainable urban drainage systems.
- Policy SE4 – Design and the Quality of Development
Reference to meeting Surrey Design principles.
- Policy DN10 – Housing Type and Need
Reference to providing a mix of housing to meet identified need.
- Policy DN11 – Affordable Housing
Reference to strategic target of 40% of new housing provision should be affordable.

1.13 There are a number of policies in the Borough Local Plan 2005 which are worth noting due to their potential relevance to this SPD. Borough Local Plan 2005 (BLP) means the First Alteration adopted on 7 April 2005 and the unaltered parts of the Borough Local Plan 1994 adopted on 21 July 1994. It is important to note that specific proposals outlined in Section 4 of this document, should they be brought forward as planning applications, are likely to be considered to constitute a departure from the policies in the BLP. This SPD provides a context for assessing whether the benefits to the community brought about by the proposals provide sufficient justification for a departure from the BLP.

- Policy Pc 6 – Urban Open Land (adopted in 1994)
Provides protection for Urban Open Land which makes a significant contribution to the recreational, community, ecological or amenity value of the area.
- Policy Ho 1 – Retention of the Housing Stock (adopted in 1994)
Seeks to maintain housing stock.
- Policy Ho 2 – Affordable Housing (altered in 2005)
Requires 25% of housing to be affordable on sites of 25 units or more or one hectare or more.
- Policy Ho 3 – Housing Mix (altered in 2005)
Ensures there is a mix of dwelling types and sizes to cater for a range of housing need. Seeks to incorporate a proportion of one and two bedroom units.
- Policy Cf 1 – Retention of existing community buildings and uses (adopted in 1994)
Provides protection for existing community building or uses.
- Policy Cf 2 – Design and Layout (adopted in 1994)
Sets out criteria for the design of layout of community facilities to achieve a balance between user requirements and maintenance of residential amenity.
- Policy Cf 3 – New Community Facilities Provision (adopted in 1994)
Encourages provision of new community facilities.
- Policy Sh 2 – Shopping Design and Layout (adopted in 1994)

Sets out design and layout requirements to ensure retail development proposals maximise access and attractiveness.

- Policy Ho 9 – Design and Layout (altered in 2005)
Maintains and enhances the natural and built environment.
- Policy Ho 9A – Housing Density & Making the Best Use of Land (new in 2005)
Sets out a design-led approach to avoid inefficient use of land and maintain or enhance character.
- Policy Re 6 – Open Space in New Housing Developments (altered in 2005)
Ensures that all new residential development contributes to outdoor playing space provision.
- Policy Co 1 – Setting and Maintenance of the Green Belt (altered in 2005)
Sets out the Council’s approach to maintaining the openness of the Green Belt.
- Policy Pc10 – Buildings of Local Architecture or Historic Interest
Sets out the Council’s approach to protecting locally listed buildings.
- Policy Ut4 – Flooding
Sets out measures to minimise the risk from flooding for new development.

1.14 In addition, the Borough Council’s adopted Local Distinctiveness Design Guide SPG contains planning and design principles for new residential and mixed-use development, including information on designing sustainable neighbourhoods. Surrey Design, adopted by both the County Council and Borough Council as SPG, also provides guidance on energy efficiency and renewable energy. The Borough Council’s adopted Supplementary Planning Guidance on Affordable Housing and Outdoor Playing Space Provision also provide detailed guidance on how policies are applied.

2. OVERVIEW OF MERSTHAM

Issues for the SPD

2.1 This SPD focuses on five main issues that have emerged from the research and consultation. Addressing these overarching issues is the key purpose of this SPD.

Issue 1: Merstham has one of the highest levels of deprivation in Surrey and the highest in the Borough

- Merstham has a relatively high proportion of older residents and one-person pensioner households.
- Merstham has a relatively low percentage of residents with level 4 and 5 qualifications.
- Merstham has a relatively high percentage of residents who are lone parents with dependent children.
- Merstham has a comparatively high level of economically inactive residents due to permanent sickness, disability or other reasons.

These factors heighten the need to provide a range of high quality and accessible community facilities in Merstham.

Issue 2: Many of Merstham's existing Community Facilities and the Merstham Recreation Ground are in need of improvement.

A number of important community facilities in the Merstham area are outdated and in poor repair. Consultation with local residents has identified the desire for multi-purpose community facilities. The Community could benefit from a facility designed to provide opportunities for young people to take part in formal and informal social and physical activities. Much of the open green space in and around Merstham is underused. Much of this space is poorly designed, lacks natural surveillance and a clear purpose. This situation provides a need and an opportunity to create both a new multi-use community centre and a new 'active' facility in the area.

The provision of a new multi-use community centre would have the following benefits:

- Provide opportunities to achieve economies of scale (through shared accommodation costs, equipment, administration and maintenance costs) making provision more economically viable in the long term;
- Provide sharing of knowledge, skills and information amongst service providers;
- Service users would benefit from being able to access more than one community service under one roof;
- It would make the provision of facilities such as a café more viable.

It is proposed that the provision of the new facilities be funded from the disposal of a number of the existing community use sites.

Issue 3: The Area around Portland Drive, Purbeck Close and Nailsworth Crescent is in need of regeneration and improvement.

Portland Drive Flats and Shops

The Portland Drive Flats comprise 24 shop units in a single block together with 42 flats in three-storey block above the shops accessed through staircases at either end. The flats are unpopular with both potential and existing tenants; the shops and flats have been the subject of anti-social behaviour and generally have a poor reputation in the area. The shopping parade needs to provide a more viable range of shops designed to meet the needs of this out of town estate and the flats, which are a valuable housing resource in the area, need to be more attractive to both owners and tenants.

Nailsworth Crescent

Nailsworth Crescent comprises 96 self-contained bedsit and 1-bedroom flats in three storey blocks. The flats attract primarily single people and do not provide the mix of housing required to meet local needs.

Purbeck Close

Purbeck Close is a mixture of houses and sheltered flats and bungalows for the elderly. The sheltered flats and bungalows are predominately self-contained bedsit accommodation which, due to the reduced demand for this type of accommodations, is becoming increasingly difficult to let. Pedestrian access from Purbeck Close and Wood Street to Portland Drive requires improvement. Garages to the south of Purbeck Close are also poorly used and present a development opportunity.

Issue 4: Housing tenure in the centre of the housing estate is unbalanced

It may also be appropriate to provide a more diversified tenure in the centre of the estate, through additional market housing and change of tenure, and possibly unit sizes, within some existing affordable housing. A mix of tenures in new residential development, including a greater proportion of private market housing will help to create a more sustainable community.

Issue 5: There are general improvements in Merstham that need to be made.

There is potential to improve the standards of the roads and pathways, create more positive public spaces, resolve parking problems and provide high quality sustainable design in all new developments. There are also opportunities to improve the links between the different parts of Merstham as well as improving access to Merstham station.

3. OBJECTIVES AND OVERARCHING THEMES

3.1 The aim of this SPD is to achieve an urban renaissance in Merstham, enhancing the quality of the built environment, the facilities and services available and improving access and linkages to the wider community. More specific objectives of this SPD are to:

- Facilitate the development of a new multi-purpose community centre, on the triangle of land on the north side of Bletchingly Road, resulting in a landmark sustainable development, which also complements and links to the surrounding area.

- Regenerate the Portland Drive, Purbeck Close and Nailsworth Crescent area through a number of regeneration initiatives.
- Create a new community heart, bringing together shops and services.
- Facilitate the development of a new active centre towards the southern end of Merstham Recreation Ground.
- Improve pedestrian and cycle links within Merstham and between key destinations.
- Enhance the use and amenity value of existing open space.
- Ensure new development is of high quality, sustainable design.
- Achieve the replacement, refurbishment or remodelling of some of the existing affordable housing in the centre of the housing estate to allow for the creation of a more diverse and balanced community.
- Ensure high quality design including energy efficiency measure and possibilities for renewable energy and/or CHP initiatives in new developments.

3.2 There are a number of overarching themes which should inform development in the Merstham area and these are outlined below:

To create positive public space

3.3 Recognising that Merstham benefits from large areas of open space, but also suffers from low levels of amenity and poor perceptions of safety, this theme establishes a principle of creating attractive, safe, overlooked public space, which has a high level of amenity value for local people, in terms of the range of facilities it provides.

To provide high quality, affordable community facilities

3.4 Recognising the poor quality and disparate locations of the physical facilities which are currently available to the Merstham community establishes the importance of providing high quality, purpose-built community facilities in accessible locations.

To create a centralised community hub

3.5 This theme establishes a principle of critical mass of activities and facilities for the area.

Improving the mix of housing tenure

3.6 This theme recognises that, while the Council is committed to providing 25% affordable housing in new developments in accordance with its own planning policy, it may be appropriate within Merstham to provide a far greater proportion of private market housing in order to create a more balanced and sustainable community.

To achieve high quality, sustainable design

3.7 Recognising that through the realisation of potential new community facilities and residential development opportunities Merstham will experience a growth in its residential population, this theme seeks to ensure that new development will respect the existing scale and character of the area, and enhance Merstham so as to benefit the existing community.

Improved access and linkages and parking

3.8 Recognising that one of Merstham's weaknesses at present is its isolation, which results from poor connections to the surrounding area, including poor connections to

the railway station, this theme sets the context for a number of projects to improve linkages for pedestrians, cyclists and vehicles.

Creating sustainable development

- 3.9 There are a number of key aspects of sustainability which should be incorporated into all new development in the area. Some are outlined in more detail below. Some are based on policy requirements, others are suggestions which developers may wish to consider as they can bring substantial benefits for residents. More specific guidance is set out in the Local Distinctiveness Design Guide SPG and Surrey Design.

Adaptation to Climate Change

- 3.10 Climate change should be seen as one element, among many, in considering the long term future, and an integral part of a sustainable approach to development. Many issues need to be considered when planning development, but it should be recognised that climate change will make some problems more severe or alter in their nature. In designing buildings and communities, it is important to plan for the climate throughout the design life of the development, not just for the current climate. In achieving this aim it is recommended that the 'Adapting to climate change: a checklist for development' is used to guide the incorporation of appropriate measures.

Resources

- 3.11 As set out in the Surrey Structure Plan 2004, new development should be as sustainable as possible, designed to achieve an EcoHomes/BREEAM standard of 'excellent' or above.
- 3.12 On large sites it is a planning policy requirement that a minimum of 10% of predicted energy consumption (as measured by the reduction of baseline carbon emissions) is provided from renewable resources. Developers should therefore carry out a feasibility study to show how this can be achieved. Moreover, where the floorspace in a development exceeds 5000 sq m, the Borough Council would expect the incorporation of 'Combined Heat and Power' generation, preferably as part of a district heating scheme, to be the norm. In implementing this policy, suitably accessible site(s) will need to be identified for the location of energy centre(s) and associated storage.
- 3.13 The positive benefits of passive solar gain are generally well known and should be utilised to their maximum benefit. However, the future need to maintain a liveable internal environment in a changing climate should also be recognised. To this end development should be designed to protect against extremes of heat, so as overcome the future need to rely on air-conditioning. Increasing thermal mass combined with passive/and or active ventilation should be strongly considered.
- 3.14 Fitted kitchen appliances should be low energy types, preferably 'AA' or 'A' rated on the energy scale. These, together with low energy lighting will play their part in saving electricity and money for the householder. Main bathrooms should be fitted with hot and cold plumbed low pressure showers as standard due to their energy savings when compared with filling a bath or using an electric shower. If hot water

cylinders are to be incorporated as part of hot water storage systems, these should be dual coiled to allow the future ease of fitting solar water panels.

3.15 Mains water usage should also be minimised within new development, subject to full compliance with water regulations and taking account of health considerations.

Developers should consider:-

- installing dual flush WC facility
- providing water-efficient kitchen appliances taking account of water labelling schemes, such as that proposed by Defra
- providing lowflow showerheads and spraytaps
- diverting rainwater to butts for garden watering
- incorporating other rainwater harvesting where feasible, possibly for WC flushing, washing machines and garden watering.

In pursuit of water efficiency, developers may also wish to consider recycling grey water from basins and baths for WC flushing and garden watering.

3.16 Space could be set aside for sustainable drainage systems to attenuate storm-water run-off, such as ponds, swales and ditches. Underground attenuation tanks and/or oversized pipes could also be provided. Existing ponds on the site could be used or green areas adjacent to paths and roads could be used to help drain impermeable areas, wherever possible. Developers should carry out a study to ensure the existing sewage and surface water drainage has capacity for new development and undertake any necessary mitigation.

3.17 Provision of space for recycling facilities, such as glass, tins, newspaper and textiles, should be included in development. Development should be capable of adapting to the potential introduction of a multi wheelie bin system by providing flexible storage space.

Lifetime Homes

3.18 As the population's age profile gets older, houses will better meet new needs if they are adaptable. A proportion of units within new housing should be developed as "Lifetime Homes".

4. SITE SPECIFIC PROPOSALS / DEVELOPMENT POTENTIAL

4.1 The section identifies opportunities that exist within Mertham for development and regeneration projects. A plan showing the location of the sites/areas identified below, and an accompanying schedule is provided in Attachment 1.

Regenerating the Portland Drive, Purbeck Close and Nailsworth Crescent area

4.2 This area would benefit from a number of regeneration initiatives to improve the physical appearance of the area including, the mix and tenure of housing, and the viability of the local shops.

Portland Drive Flats and Shops

4.3 In addressing the issues identified in Section 2 and taking into account the objectives and overarching themes in Section 3, improvements to the Portland Drive Area should focus on the following measures:

Flats

- Better and safe access from the street
- Secure parking provision
- Improvements to the appearance of the building
- Improved refuse disposal facilities
- Improved storage facilities

Shops

- Improvements in the appearance of the building particularly frontages and rear garages and storage areas
- Improvements to the street scene and parking provision associated with the shops

4.4 Consideration may also be given to the addition of a further floor and the conversion of flats to provide a variation in size of accommodation.

Nailsworth Crescent

In addressing the issues identified in Section 2 and taking into account the objectives and principles in Section 3, improvements to the Portland Drive Area should focus on the following measures:

- Introduce family sized flats to change the mix of housing, which at present includes only bedsits and 1-bedroom flats.
- Improvements to the surrounding environment of the flats with the removal of hard landscaping and the introduction of planting grassed areas, parking provision and defensible space.

4.5 Consideration should also be given to the provision of new residential development which would assist in altering the mix of tenures and variety of accommodation.

Purbeck Close

In addressing the issues identified in Section 2 and taking into account the objectives and principles in Section 3, improvements to the Portland Drive Area should focus on the following measures:

- Redevelopment of the sheltered flats to provide a mixed development of general needs 1, 2, 3 and 4-bedroom houses and flats for affordable housing and housing for sale.

- A through pedestrian route from Purbeck Close and Wood Street to Portland Drive to be incorporated into the development.

4.6 Consideration should also be given to the redevelopment of the Garages to the south of Purbeck Close for residential purposes.

Providing New and Sustainable Community Facilities in Merstham

4.7 The preferred approach to the future provision of community facilities in Merstham involves the provision of community facilities on two separate sites:

The Triangle of Land on the Corner of Bletchingly Road and Portland Drive

4.8 This triangle of land to the north of Bletchingly Road, owned by the Raven Housing Trust, is the preferred site for a new multi-purpose community centre. Such a facility might incorporate:

- GP's surgery
- Library
- Church of the Epiphany
- Café and meeting place
- Other facilities for local community groups
- Help shop
- Internet facilities

It may also be appropriate to provide a component of housing above the community uses.

4.9 Further work will be necessary to identify the most appropriate mix of community uses on the site and the most effective funding arrangements and mechanisms for ongoing management of the site. However it is envisaged that a number of the community groups currently operating in Merstham could act as anchor partners at the facility.

4.10 A detailed design process is needed to decide the precise content, layout and external appearance. Local residents should be extensively involved at every stage in the design process. An appropriate level of parking provision will be important to ensure the viability of the proposed community centre.

The Southern End of Merstham Recreation Ground adjoining Weldon Way

4.11 This part of Merstham Recreation Ground is the preferred site for a more 'active' community facility which would include meeting rooms, a hall for activities for young people and replacement of the existing toilets and changing facilities that will serve to enhance the use of surrounding open space for recreation purposes.

4.12 Every effort should be made to minimise the impact of any such proposed development on the openness of this part of the Green Belt. As with all planning applications for development on the Green Belt, an application for a new community facility on Merstham Recreation Ground will be the subject of rigorous scrutiny, in accordance with the relevant Borough Local Plan policies (Co 1), Planning Policy Guidance note 2 (PPG2) *Green Belts*, and the Town and Country Planning (Green Belt) Direction 2005. A detailed design process, including resident involvement, will

be required to determine the precise site, content, layout and external appearance of the facility.

Releasing Existing Community Facility Sites

4.13 The two proposed new community facilities will enable a number of existing community facility sites to be released for redevelopment. The Council will only consider the release of existing community facilities and other sites for redevelopment where a significant proportion of the capital receipt from the sale of sites is ring fenced for investment in the new community facilities in the local area. The development potential of these sites is detailed in the Merstham Residential Study (2006). Key sites considered within this study include:

- The existing GP surgery site
- The existing Library site
- Church of the Epiphany site
- The Oakley Youth Centre site
- Part of the Verge Along Bletchingly Road
- Part of the top of the Recreation Ground in Malmstone Avenue

General Improvements

4.14 Financial contributions will be sought from developers to provide wider community benefits including environmental and transport improvements, on the granting of permission to develop land within the SPD boundary area, in accordance with Structure Plan Policy DN1. These will be secured through planning obligations.

5. NEXT STEPS –PHASING AND FURTHER RESEARCH

Phasing

- 5.1 In terms of development, it is envisaged that the Purbeck Close area, including the garages behind Portland House will be the first site to be redeveloped.
- 5.2 In regard to the two proposed new community centres, a number of key dependencies exist including the identification of partner tenants for the two sites and the securing of funding as a result of the release of existing community facilities for redevelopment.

Further Research

- 5.3 Further research is required to support the objectives of this SPD. This includes:
- To undertake a renewable energy feasibility study across the whole of the Merstham area to establish feasibility of community renewable energy (e.g. community wind turbine) or low carbon technologies (district heating).
 - To undertake a review of the existing infrastructure, particularly the sewage and surface water drainage, to ensure that the existing drainage has the capacity to handle the proposed new buildings and that flood risk is mitigated where possible.
 - Research into improving transport links to Merstham Station.

Attachment 1: Schedule and Map of Sites / Areas with Development Potential within Merstham SPD Area.

Schedule
1. Portland Drive, Purbeck Close and Nailsworth Crescent Regeneration Area:
2. Triangle of Land on the Corner of Bletchingly and Portland Drive
3. Southern End of Merstham Recreation Ground adjoining Weldon Way
4. Existing GP Surgery Site (Worsted Green and Weldon Way)
5. Existing Library Site (Weldon Way)
6. Church of the Epiphany site (Mansfield Drive)
7. Oakley Youth Centre Site (Radstock Way)
8. Part of the Verge along Bletchingly Road.
9. Part of the top of the Recreation Ground in Malmstone Avenue

Attachment 1.

